

CITY OF WESTMINSTER			
PLANNING APPLICATIONS SUB COMMITTEE	Date 17 October 2017	Classification For General Release	
Report of Director of Planning		Ward(s) involved Knightsbridge And Belgravia	
Subject of Report	22 Montpelier Place, London, SW7 1HL		
Proposal	Excavation of a new basement (including under existing vaults) and lowering of existing lower ground floor level. Construction of a single storey rear extension at lower ground floor, external lift shaft to the rear running from new basement level to upper ground and a rear mansard roof with dormers to match the front roof slope.		
Agent	Place Architecture and Design Ltd.		
On behalf of	Mr & Mrs Shackleton		
Registered Number	17/02785/FULL	Date amended/ completed	19 April 2017
Date Application Received	29 March 2017		
Historic Building Grade	Unlisted		
Conservation Area	Knightsbridge		

## 1. RECOMMENDATION

Grant conditional permission

## 2. SUMMARY

22 Montpelier Place is an unlisted dwellinghouse located within the Knightsbridge Conservation Area. It was originally two properties and forms a group of terraces with No. 23 Montpelier Place. The Knightsbridge Conservation Area Audit identifies the building as an unlisted building of merit that makes a positive contribution to the character and appearance of the area.

Planning permission is sought to extend the property with the excavation of a new basement (to include the area under the existing vaults) and the construction of a single storey rear extension at lower ground floor and a rear mansard roof with dormers to match the front roof slope. It is also proposed to install an external lift running from basement level to first floor level and to lower the existing lower ground internal floor level.

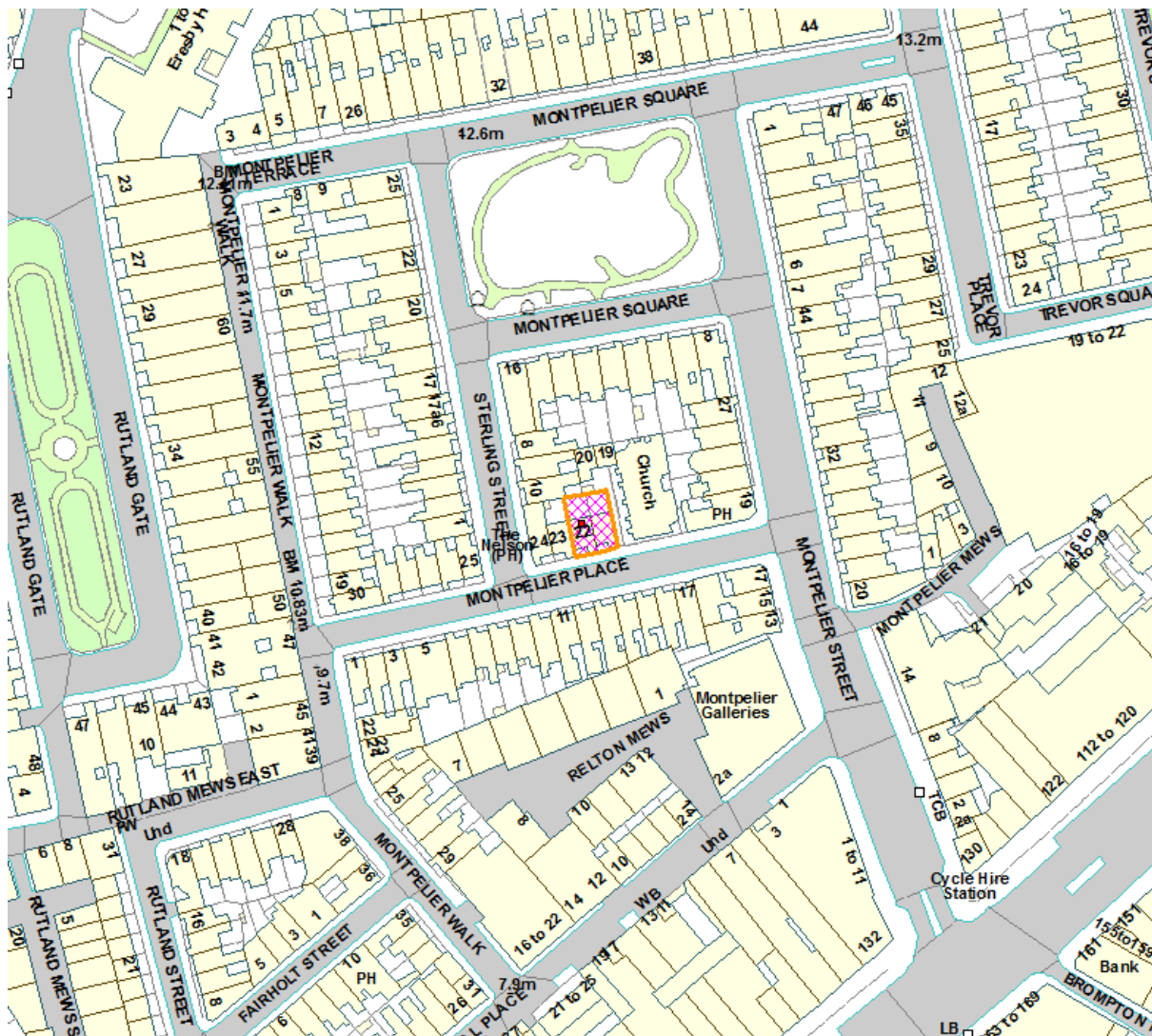
The key issues in this case are:

\* The impact of the proposals upon the character and appearance of the Knightsbridge Conservation Area and;

- \* The impact of the proposals upon the amenity of neighbouring residents.
- \* The structural implications of the basement excavation.

Objections have been received from neighbouring residents on design, amenity and the impact from the basement works. However for the reasons set out in the report the proposals are considered to comply with the Council's policies set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (City Plan) and the application is recommended for approval.

### 3. LOCATION PLAN



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#### 4. PHOTOGRAPHS



## 5. CONSULTATIONS

### KNIGHTSBRIDGE ASSOCIATION

No objection.

### BUILDING CONTROL

An investigation of existing structures and geology has been undertaken and found to be of sufficient detail. The basement is to be constructed using contiguous piling/concrete underpin and RC slab foundation, which is considered to be appropriate for this site. The proposals to safeguard adjacent properties during construction have been outlined and are fine. The means of escape from the basement is acceptable subject to the provision of more detailed plans for the Building Control submission. A supplementary note on the existence of groundwater, including underground rivers, is considered reasonable at this stage of the process. The likelihood of local flooding or adverse effects on the water table been found to be negligible.

### HIGHWAYS PLANNING

No objection subject to the recommended informatives to be attached to any grant of planning permission.

### ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS RECEIVED

No. Consulted: 9

Total No. of replies: 5

No. of objections: 5

Objections raised on the following grounds.

#### Design:

- The basement light-well and associated glass and metal grilled walkway would adversely visually impact on the traditional historic Georgian layout of the front of the property and visually impact the street scene;
- The proposed lift shaft to the rear of the property will be an ugly addition out of context with the historic Georgian nature of the building. Any lift shaft should be internally located within the existing footprint of the building;
- The resultant large dwellinghouse and the cottage like feel of the 'Yellow House' would be lost and would not be in character with the terraces in the street and;
- The mansard roof extension should be refused as it was for other houses;

#### Basement works:

- There is no other complete storey basement in the locality and if permitted would set a precedent;
- A branch of the River Westbourne flows under Montpelier Place and the proposed basement could divert the flow of these rivers which can affect the neighbouring properties;
- Restrictions should be placed to ensure that no large machinery is placed on the pavement;
- Significant concerns over the stability and potential damage to the neighbouring property as a result of the proposed sub-basement works; and
- Conditions should be imposed to any planning permission granted to restrict the disturbance from the construction noise and construction vehicles;

Amenity

- Potential loss of privacy to the rear by removal of the trellising above the party wall and proposed walk on rooflight;

Other:

- Works have already been carried out to the party wall between the neighbouring property.

PRESS ADVERTISEMENT / SITE NOTICE: Yes

## **6. BACKGROUND INFORMATION**

### **6.1 The Application Site**

The application site comprises a distinctive yellow painted double fronted dwellinghouse located on the north side of Montpelier Place. It is an unlisted building of merit which lies within the Knightsbridge Conservation Area.

The house was originally two properties (Nos. 21 and 22) and was knocked into one in the early 1920's, and now appears as one single dwellinghouse. It forms part of a terrace group with Nos. 23 and 24 Montpelier Place. To the immediate rear and in close proximity is Church Cottage, 19-20 Montpelier Place.

### **6.2 Recent Relevant History**

There is an open enforcement case at the property dated 26 April 2017 relating to basement monitoring.

## **7. THE PROPOSAL**

Planning permission is sought to extend the existing single family dwelling house through the excavation of a new basement, a single storey rear extension, a lift extension and an extension of the mansard roof extension at the rear..

The basement extension is to extend beneath the footprint of the house and the pavement vaults. The scheme proposes a lightwell to serve the new basement to be sited within the existing front lightwell. It is also proposed to increase the head room of the existing lower ground floor from 2010mm to 2.5m. The front lightwell and rear garden would be realigned accordingly.

The proposed single storey rear extension will be at lower ground floor level and accommodate a kitchen/diner with bi-folding doors leading into the courtyard garden and a flat roof with a central roof-light. An external lift is proposed to run from the new basement level to the ground floor (it was originally intended to run up to second floor level but this was resisted by officers) on the rear elevation.

At roof level it is proposed to replace the existing roof form to construct a mansard. The rear mansard will have three rear dormer windows to match the front that would serve a bedroom, hallway and dressing room.

## **8. DETAILED CONSIDERATIONS**

### **8.1 Land Use**

The proposal to extend this single family dwellinghouse is acceptable in terms of Policy S14 of the City Plan.

### **8.2 Townscape and Design**

The principle of a basement in this location, set largely under the footprint of the building, is considered acceptable in design terms and would be in compliance with policies DES1, DES 5 and DES9 of the UDP and the advice on design implications of basements in CM28.1 of the City Plan. It would have limited visual impact, with the exception of a large metal grille/pavement light proposed within the front lightwell. The pattern of open light-wells is an important and characteristic feature of this street and conservation area, and policy seeks to protect these from this type of unsympathetic alteration. It is recommended that an amending condition is used to secure the removal of the grille and lightwell.

With regards to the rear extensions, of particular relevance is saved UDP policy DES 5, which notes that extensions should not visually dominate and should reflect the style and detail of the existing building. The main extension covers half the width of the rear elevation, is confined to lower ground floor and retains some garden space. The proposed lift shaft extension to the rear has been amended with the height reduced extending to ground floor level only. It would be rendered, which matches the existing rendered rear elevation. Given that both extensions are confined to lower ground and ground floor level, they would form sufficiently subordinate additions to the rear of the building, which would have limited impact on the character and appearance of the conservation area. It is noted that the roof-light to the rear extension is large but given its location at lower ground floor level and in an area enclosed by the existing high boundary walls, it would not be particularly visible and is considered acceptable.

In terms of the alterations to the roof, the building is not listed and its roof has been altered in the past, with a mansard form to the front. The adjoining building at No. 23 forms part of the same terrace group and already has a full mansard. The principle of the change in pitch to create a mansard roof form to the rear is therefore acceptable in this instance. The proposed mansard roof would have a pitch of less than 70 degrees and matches the detail and design to the front and that to the adjoining property. Consequently, the proposal would be in compliance with saved policy DES 6 of the UDP which relates to roof extensions and alterations. Conditions are recommended to secure details of materials and detailed drawings of the rear dormer windows.

### **8.3 Residential Amenity**

The existing rear garden of the application property is highly enclosed with limited views available from a small number of properties.

The proposed lower ground floor extension will be set within the existing high boundary walls of the rear garden. The lift extension will extend beyond the boundary walls but it is

centrally positioned and modest in size. It is considered that these extensions will have no real impact on neighbouring properties. In order to safeguard residential amenity though it is considered reasonable to attach a condition preventing the use of the flat roof of the lower ground floor and lift extensions as a terrace.

The proposed rear mansard will introduce additional windows to the rear elevation that will serve a bedroom, staircase and dressing room. The windows are at high level compared to Church Cottage at the rear and whilst some additional overlooking will occur this is not considered to be a sustainable reason for refusal.

The structural and construction implications of the basement excavation are set out in paragraph 8.11 of this report.

#### **8.4 Transportation/Parking**

There are no changes to the existing highway infrastructure. The existing dwellinghouse does not have any off-street parking spaces and no spaces would be required as part of this application.

#### **8.5 Economic Considerations**

No economic considerations are applicable for a development of this size.

#### **8.6 Access**

The proposal would not alter the existing access arrangements.

#### **8.7 London Plan**

This application raises no strategic issues.

#### **8.8 National Policy/Guidance Considerations**

The City Plan and UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

#### **8.9 Planning Obligations**

Planning obligations are not relevant in the determination of this application.

The floor space of the basement would be about 98sqm which would be less than 100sqm gross internal area. Therefore it would be exempt from CIL liability.

#### **8.10 Environmental Impact Assessment**

Not applicable.



## 8.11 Other Issues

### Basement

Many of the objectors have expressed strong concerns to the excavation of the new basement, its size, stability and potential damage to the adjoining properties, flooding and construction noise.

Studies have been undertaken which advise that subterranean development in a dense urban environment, especially basements built under existing vulnerable structures is a challenging engineering endeavour and that in particular it carries a potential risk of damage to both the existing and neighbouring structures and infrastructure if the subterranean development is ill-planned, poorly constructed and does not properly consider geology and hydrology.

While the Building Regulations determine whether the detailed design of buildings and their foundations will allow the buildings to be constructed and used safely, the National Planning Policy Framework March 2012 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by land instability.

The NPPF goes on to state that in order to prevent unacceptable risks from land instability, planning decisions should ensure that new development is appropriate for its location. It advises that where a site is affected by land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.

The NPPF advises that planning decisions should ensure that a site is suitable for its new use taking account of ground conditions and land instability and any proposals for mitigation, and that adequate site investigation information, prepared by a competent person, is presented.

The applicant has provided a structural engineer's report explaining the likely methodology of excavation. Any report by a member of the relevant professional institution carries a duty of care which should be sufficient to demonstrate that the matter has been properly considered at this early stage. The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred.

The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act. We are not approving this report or conditioning that the works shall necessarily be carried out in accordance with the report. Its purpose is to show, with the integral professional duty of care, that there is no reasonable impediment foreseeable at this stage to the scheme satisfying the Building Regulations in due course. This report will be attached for information purposes to the decision letter. It is considered that this is as far as we can reasonably take this matter under the planning considerations of the proposal as matters of detailed engineering techniques and whether they secure the structural

integrity of the development and neighbouring buildings during construction is not controlled through the planning regime but other statutory codes and regulations as cited above. To go further would be to act beyond the bounds of planning control.

The site lies within flood zone 1 and due to its low probability of flooding no flood risk assessment would be required. The surface water flood risk is also considered to be relatively low in this area. Furthermore, the basement would not extend below the garden and consequently the run-off would remain unchanged from the current situation.

The submitted documents have been reviewed by Council's Building Control department who have advised that these details are acceptable and that flood risk would be negligible, the method of underpinning is appropriate and that proposals to safeguard adjoining properties during construction are appropriate. Concerns have been raised about the implications of construction a basement close to the course of the subterranean River Westbourne. An addendum report has been produced by the applicant to deal with this issue which satisfies building control at this stage of the development process.

Policy CM28.1 of the City Plan sets out the council's policy for basement developments.

Part C(1)(a) of the policy outlines that any proposed basement must not extend beneath more than 50% of the garden land. Garden land is defined as the site area excluding the footprint of the original building. Part C(2) of CM28.1 requires that a minimum of 1m soil depth (plus a 200mm drainage layer) is provided above the top cover of the basement and Part C(1)(c), requires a margin of undeveloped garden land to be left around the affected garden. The proposed basement would be beneath the existing dwelling and would not extend into the garden and therefore the basement would be compliant with the aims of this policy.

It should also be noted that planning permission for a comparable size basement has been implemented at the adjoining property No. 23 Montpelier Place. It is also worth taking into consideration recent basements that have been granted planning permission for Nos. 9 and 15 Montpelier Place.

Therefore, based on the circumstances of the site, the proposed basement would comply with the objectives of Policy CM28.1 and would be acceptable. To clarify a party wall agreement is covered by separate legislation and is not a material planning consideration.

### **Construction impact**

In terms of the impact of construction on the amenity of neighbours and the operation of the local highway network, whilst it is recognised that there would inevitably be an element of disturbance to residents particularly during construction of the new basement, the applicant would be required to adhere to the Council's Code of Construction Practice. The City Council's Code of Construction Practice and associated Environmental Inspectorate have been developed to mitigate against construction and development impacts on large and complex development sites. The new Code of Construction Practice was adopted in July 2016 and the applicant is required to sign up to it, which has been agreed. Compliance is monitored by the Environmental

Inspectorate. A condition is recommended requiring the applicant to provide evidence of compliance with the CoCP before starting work. This would address concerns raised by neighbours regarding hours of construction and delivery vehicles.

### **Conclusion**

In light of the above, it is not considered that the objections can be sustained in this case as the proposal would be considered acceptable in terms of its construction impact, structural implications, impact on amenity and impact on the character and appearance of the conservation area.

## **9. BACKGROUND PAPERS**

1. Application form
2. Email from Building Control dated 5 October 2017
3. Comments from Building Control dated September 2017.
4. E-mail from Knightsbridge Association received on 9 May 2017
5. Memorandum from Highways Planning dated 4 May 2017
6. E-mail from occupier of 23 Montpelier Place received on 31 May 2017
7. E-mail from occupier of 15 Montpelier Place received on 15 May 2017
8. E-mail from occupier of 14 Montpelier Place received on 16 May 2017
9. E-mail from occupier of 16 Montpelier Place received on 4 August 2017
10. E-mail from occupier of Church Cottage, Montpelier Place on 12 September 2017
11. Letter from Aland Baxter Partnership dated 4 October 2017.
12. Email from Sinead Hagerty dated 4 October 2017.

(Please note: All the application drawings and other relevant documents and Background Papers are available to view on the Council's website)

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT PLEASE CONTACT THE PRESENTING OFFICER: MATTHEW MASON BY EMAIL AT [mmason@westminster.gov.uk](mailto:mmason@westminster.gov.uk).

### Existing and proposed basement floor plan

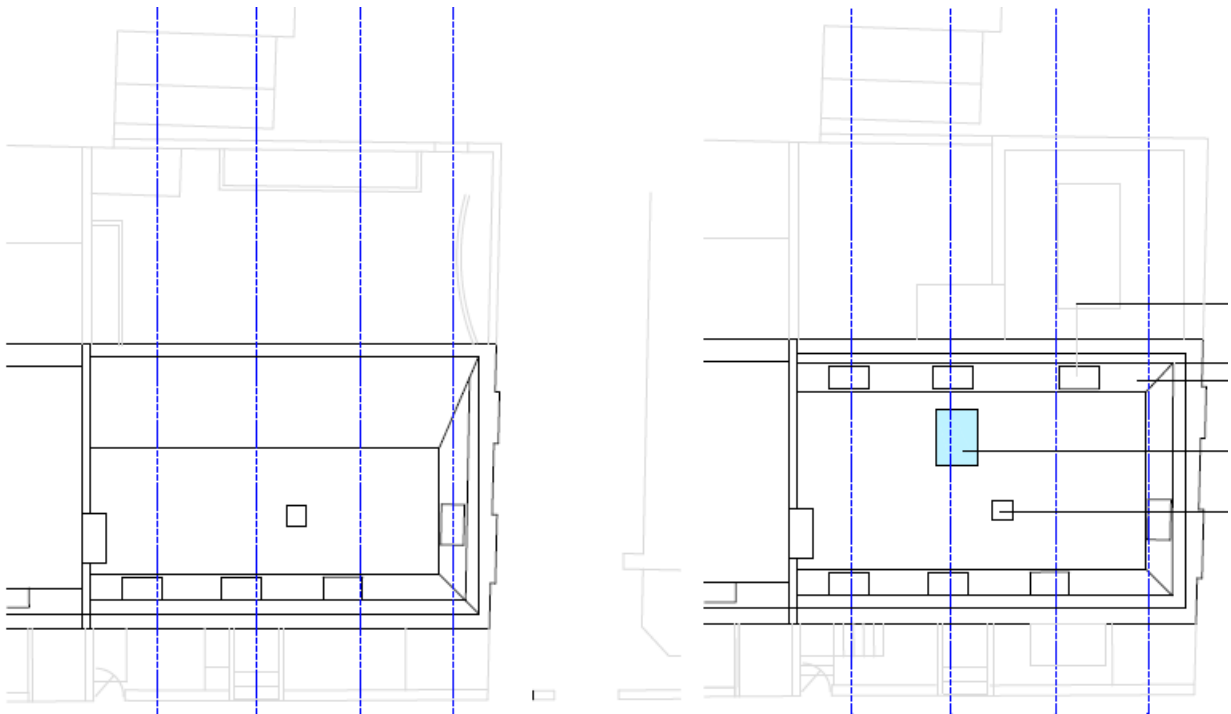


Figure 10 consists of two floor plans of a building. The left plan shows the existing layout, and the right plan shows the proposed layout. The right plan includes a list of 15 items detailing the proposed changes:

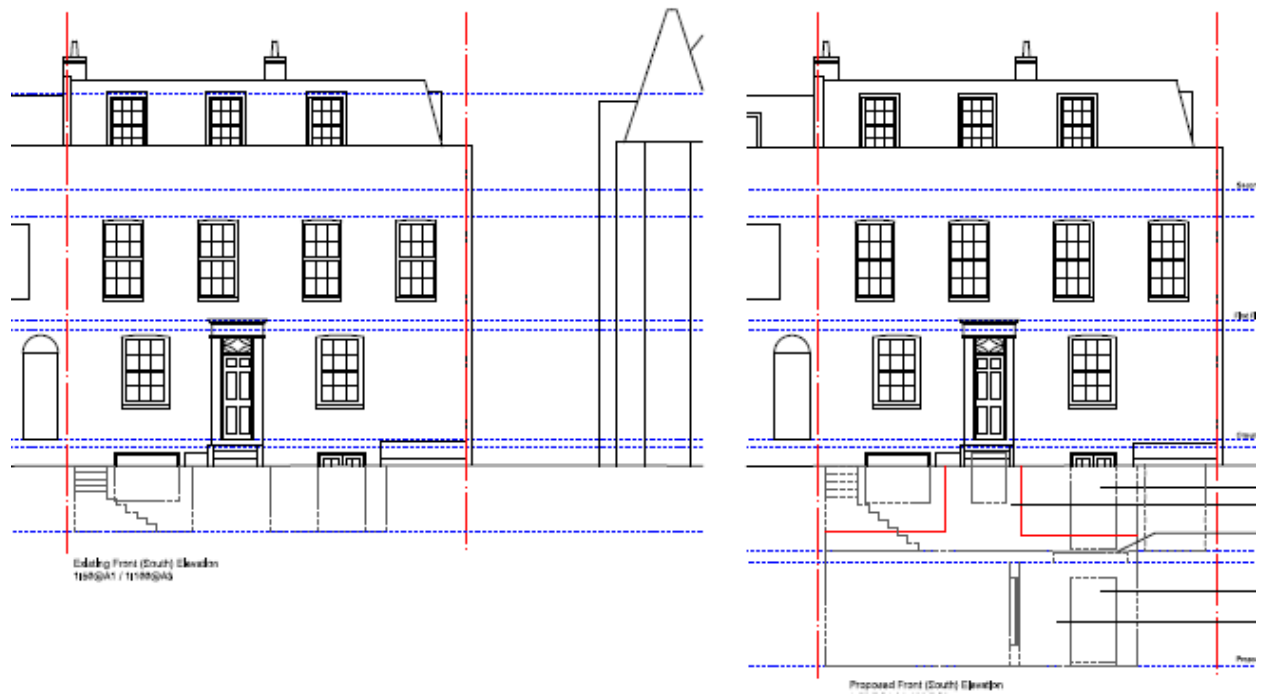
- Proposed addition to front entrance
- Proposed addition to dining area
- Proposed addition to family room
- Proposed addition to kitchen
- Proposed addition to bathroom
- Proposed addition to bedroom
- Proposed addition to living room
- Proposed addition to office
- Proposed addition to storage room
- Proposed addition to laundry room
- Proposed addition to closet
- Proposed addition to garage
- Proposed addition to driveway
- Proposed addition to sidewalk
- Proposed addition to landscaping

The floor plan shows a central corridor with a staircase. To the left of the corridor is a large room labeled 'Reception'. To the right is a large room labeled 'Lounge'. At the top of the plan, there is a smaller room labeled 'Office'. Four cameras are indicated by dashed lines and labels: C1 is at the top left, C2 is at the top center, C3 is at the top right, and C4 is at the bottom right. The lines for C1 and C2 extend upwards, while the lines for C3 and C4 extend downwards.

Proposed Upper Ground Floor Plan  
1:50@A1 / 1:100@A3

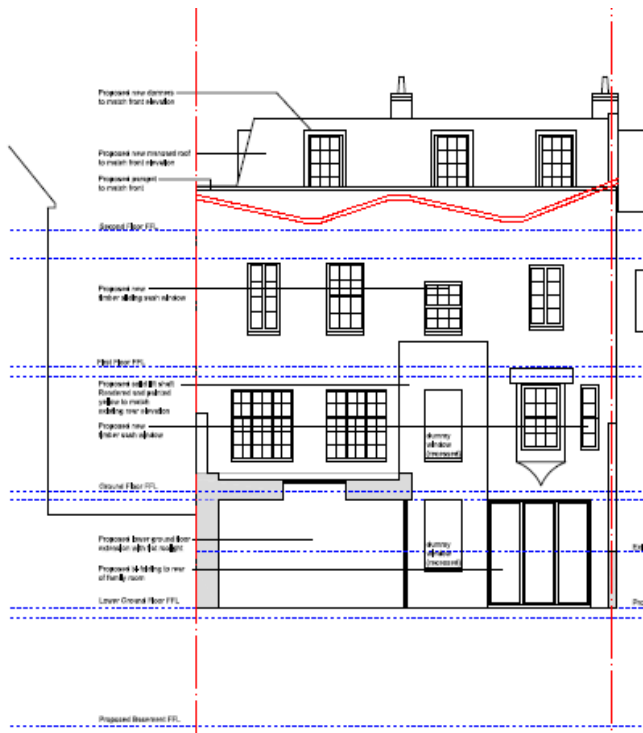
**Existing and proposed roof plan**

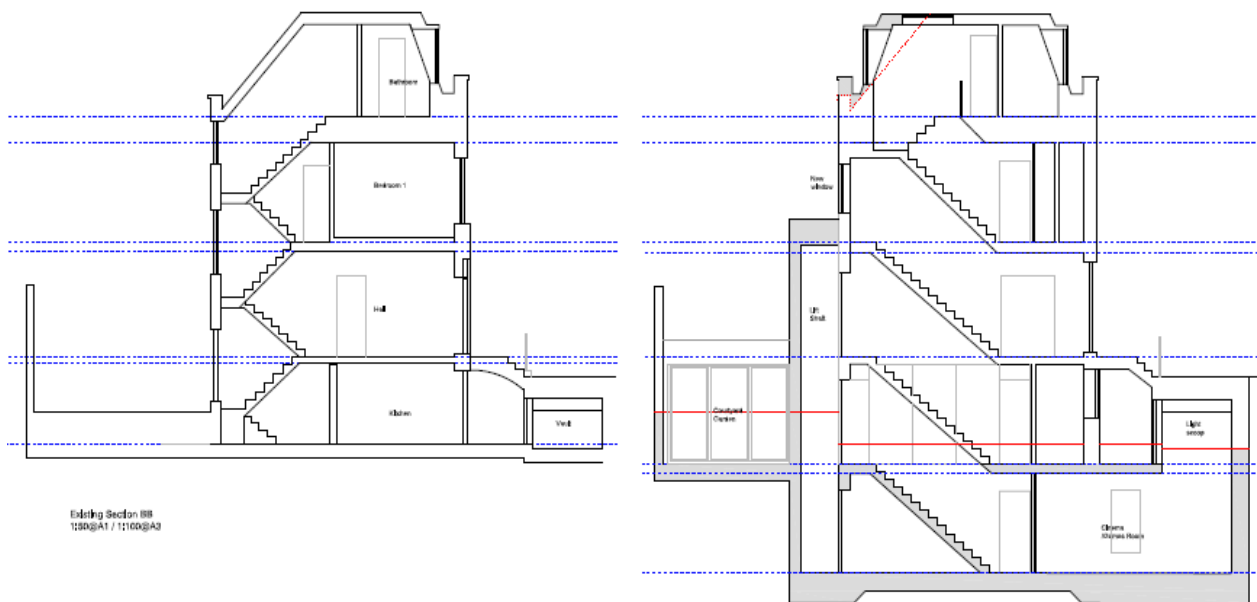
## Existing and proposed front elevation





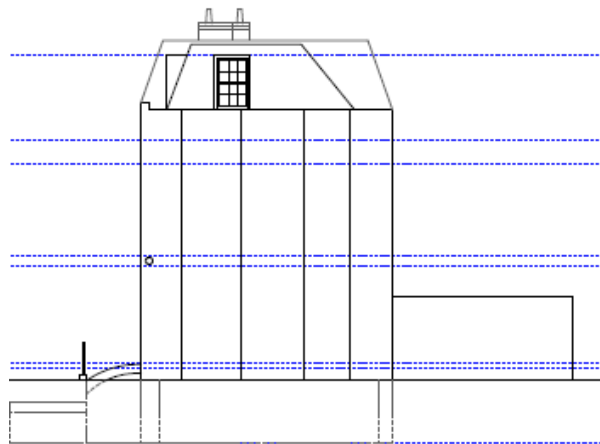
Existing Rear (North) Elevation  
1:50@A1 / 1:100@A3



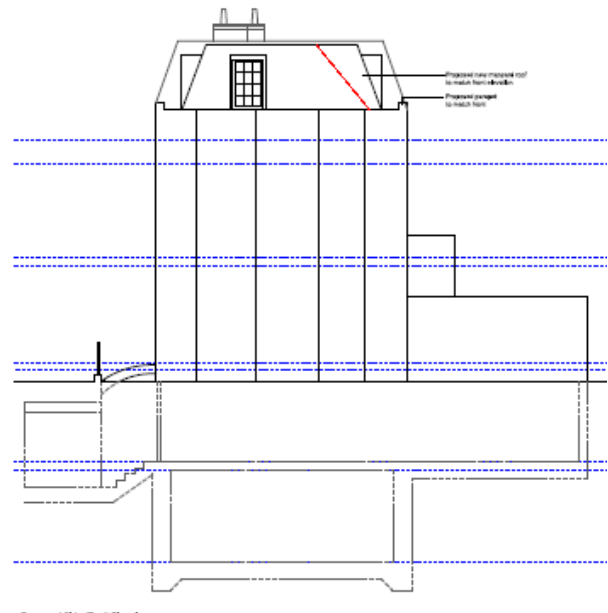
**Existing and proposed section BB**

Existing Section BB  
1200@A1 / 12100@A3

### Existing and proposed side (east) elevation



Existing Side (East) Elevation  
1:100 @ A1 / 1:100 @ A3



**DRAFT DECISION LETTER**

**Address:** 22 Montpelier Place, London, SW7 1HL

**Proposal:** Excavation of a basement including the area under the existing vaults, lowering of the existing lower ground floor level, a single storey rear extension at lower ground floor with access onto the courtyard garden, a new external lift shaft to the rear of the property running from basement level to the first floor penultimate level, a rear mansard roof with dormers to match the front roof slope and the insertion of one new dormer to the front roof.

**Reference:** 17/02785/FULL

**Plan Nos:** 16.34.100 rev: 02, 101 rev: 02, 102 rev: 02, 103 rev: 02, 104 rev: 01, 105 rev: 01, 160 rev: 01, 161 rev: 02, 162 rev: 02, 300 rev: 02, 301 rev: 02, 302 rev: 01 and 303 rev: 02

For information only - Structural Methodology Statement dated 28 March 2017, Addendum Structural Methodology Statement dated 4 October 2017 and Design and Access Statement

**Case Officer:** Nosheen Javed

**Direct Tel. No.** 020 7641 2858

**Recommended Condition(s) and Reason(s)**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

**Reason:**

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 3 Except for piling, excavation and demolition work, you must carry out any building work which can be

heard at the boundary of the site only:

- between 08.00 and 18.00 Monday to Friday;
- between 08.00 and 13.00 on Saturday; and,
- not at all on Sundays, bank holidays and public holidays.

You must carry out piling, excavation and demolition work only: ,

- between 08.00 and 18.00 Monday to Friday; and ,
- not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours unless otherwise agreed through a Control of Pollution Act 1974 section 61 prior consent in special circumstances (for example, to meet police traffic restrictions, in an emergency or in the interests of public safety). (C11AB)

Reason:

To protect the environment of neighbouring occupiers. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 4 You must apply to us for approval of detailed drawings and sections (1:5 and 1:20) of the following parts of the development
- the grille to the front lightwell,
  - all new windows including rear dormer windows and rooflights,
  - all external doors
  - front lightwell elevation showing traditional semi-solid doors to openings

You must not start any work on these parts of the development until we have approved what you have sent us.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 5 You must apply to us for approval of details of the facing materials you will use, including details of air bricks and glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 6 You must paint all new outside rainwater and soil pipes black and keep them that colour. (C26EA)

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 The lightwells must be surfaced in riven York stone.

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 8 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 9 The mansard roof shall be finished in natural blue-grey slate.

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 10 All new windows and doors shall be formed of painted timber and maintained in that material.

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 13 Prior to the commencement of any demolition or construction on site the applicant shall submit an approval of details application to the City Council as local planning authority comprising evidence that any implementation of the scheme hereby approved, by the applicant or any other party, will be bound by the council's Code of Construction Practice. Such evidence must take the form of a completed Appendix A of the Code of Construction Practice, signed by the applicant and approved by the Council's Environmental Inspectorate, which constitutes an agreement to comply with the code and requirements contained therein. Commencement of any demolition or construction cannot take place until the City Council as local planning authority has issued its approval of such an application (C11CB)

**Reason:**

To protect the environment of neighbouring occupiers. This is as set out in S29 and S32 of Westminster's City Plan (November 2016) and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 14 You must not use the roof of the single storey rear extension and lift extension for sitting out or for any other purpose. You can however use the roof to escape in an emergency (C21BA)

**Reason:**

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan (November 2016) and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

- 15 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme: removal of grille and lightwell to new basement. You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Knightsbridge Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan (November 2016) and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

**Informative(s):**

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan (November 2016), Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.
- 2 With reference to condition 11 please refer to the Council's Code of Construction Practice at (<https://www.westminster.gov.uk/code-construction-practice>). You will be required to enter into

the relevant Code appropriate to this scale of development and to pay the relevant fees prior to starting work. The Code does require the submission of a full Site Environmental Management Plan or Construction Management Plan as appropriate 40 days prior to commencement of works (including demolition). You are urged therefore to give this your early attention.

- 3 This permission is based on the drawings and reports submitted by you including the structural methodology report. For the avoidance of doubt this report has not been assessed by the City Council and as a consequence we do not endorse or approve it in anyway and have included it for information purposes only. Its effect is to demonstrate that a member of the appropriate institution applying due diligence has confirmed that the works proposed are feasible without risk to neighbouring properties or the building itself. The construction itself will be subject to the building regulations and the construction methodology chosen will need to satisfy these regulations in all respects.
- 4 The applicant will need technical approval for the works to the highway (supporting structure) prior to commencement of development. The applicant should contact Andy Foster (afoster1@westminster.gov.uk) in Westminster Highways Infrastructure and Public Realm to progress the applicant for works to the highway.

Please note: the full text for informatives can be found in the Council's Conditions, Reasons & Policies handbook, copies of which can be found in the Committee Room whilst the meeting is in progress, and on the Council's website.